



Nakheel Community Planning & Management

Development Control & Planning Approval



DETAILED DESIGN

APPROVAL

DocuSigned by:

FF2DE325504E4DB...

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Adjacent OpenPlotJVC12JMP100

<<-- NEIGHBOR PLOT NO.- JVC12JMP100 1768 -->>

E=488081.558
N=2772231.234
PLOT LIMIT
Grill Ht. 1.20Mt.
L = 15200.00M.
Fence
Grill Ht. 1.20Mt.
E=488085.132
N=2772246.008
PLOT LIMIT

MINIMUM SRI VALUE OF 20 TO BE PROVIDED FOR POOL DECK HARDSCAPE AND TO COMPLY WITH DBC CODE

MINIMUM SRI VALUE OF 20 TO BE PROVIDED FOR POOL DECK HARDSCAPE AND TO COMPLY WITH DBC CODE

BUILDING ELEMENTS FORMING THE EXTERNAL WALLS, ROOFS AND FLOORS MUST HAVE AN AVERAGE THERMAL TRANSMITTANCE (U) VALUE WHICH DOES NOT EXCEED THE FOLLOWING VALUES

Building Elements Parameter Requirements
External Walls (U-Value/M2) 0.28 W/m2 °C
Roof (U-Value/M2) 0.255 W/m2 °C

BUILDING ELEMENTS FORMING THE EXTERNAL WALLS, ROOFS AND FLOORS MUST HAVE AN AVERAGE THERMAL TRANSMITTANCE (U) VALUE WHICH DOES NOT EXCEED THE FOLLOWING VALUES

Building Elements Parameter Requirements
External Walls (U-Value/M2) 0.28 W/m2 °C
Roof (U-Value/M2) 0.255 W/m2 °C

Adjacent Open Plot JVC12ZVIL005
NEIGHBOR PLOT NO.- 681-0000-->>

Adjacent Plot
NEIGHBOR PLOT NO.- JVC12ZVIL005 1768

304.05 HARDSCAPE

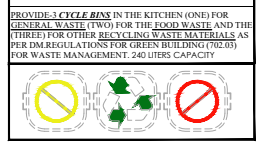
NOTE :

50% OF HARDSCAPE IS OF MATERIAL WITH SRI=20

302.01 LOCAL SPECIES

NOTE :

25% OF GREEN AREA SHOULD BE LOCAL SPECIES



RT : 240 LITERS CAPACITY FOR FOOD WASTE
RT : 240 LITERS CAPACITY FOR GENERAL WASTE
RT : 240 LITERS CAPACITY FOR RECYCLING WASTE

F3 : ALL PAINTS, COATS ADHESIVES AND SEALANTS USED IN THE PROJECT SHALL HAVE VOLATILE ORGANIC COMPOUND(VOC's) LIMITS AS PER EHS REGULATION.

UNKNOWN PIPE

CONCRETE BOUNDARY

E=488113.633
N=277223.475
PLOT LIMIT
MANHOLE - SEWER - SQUARE
MANHOLE - STORM - WATER - CIRCLE

E=488117.207
N=2772238.249
PLOT LIMIT / GATE VEHICULAR
MANHOLE - SEWER - SQUARE

CL: 13.831
IL: 12.185
E= 488119.058
N= 2772237.247

FIC C.L SHOULD BE ADJUST AS PER G.L BY OWNER'S COST

CL: 13.831
IL: 12.185
E= 488119.058
N= 2772237.247

CL: 13.831
IL: 12.185
E= 488119.058
N= 2772237.247

CL: 13.831
IL: 12.185
E= 488119.058
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IL: 12.185
E= 488119.058
N= 2772237.247

CL: 13.831
IL: 12.185
E= 488119.058
N= 2772237.247

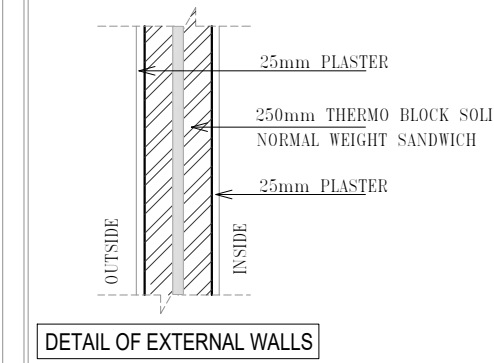
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IL: 12.185
E= 488119.058
N= 2772237.247

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CL: 13.831
IL: 12.185
E= 488119.058
N= 2772237.247

CL: 13.831
IL: 12.185
E= 488119.058
N= 2772237.247



NOTES:

1. ALL DIMENSIONS ARE IN METERS UNLESS STATED OTHERWISE

PROJECT CO-ORDINATE SYSTEM:

Map Projection : DLTM
Plan Datum : WGS 84
Height Datum : Dubai Municipality Datum

LEGEND:

XX.XX PLOT LIMIT ID
XX.XX DIMENSION
PLOT LIMIT

LEGEND:

XX.XX ORIGINAL GROUND LEVEL
XX.XX MANHOLE COVER LEVEL
XX.XX ASPHALT ROAD LEVEL
XX.XX UPSTAND KERB BOTTOM LEVEL
XX.XX UPSTAND KERB TOP LEVEL
XX.XX INTERLOCK LEVEL
XX.XX FLUSH KERB TOP LEVEL
XX.XX CONCRETE LEVEL
XX.XX GATE LEVEL
XX.XX COMPOUND WALL TOP LEVEL
INTERLOCK
PLOT LIMIT
CONCRETE
ASPHALT
UPSTAND KERB STONE
FLUSH KERB STONE
DROP KERB STONE
GULLY TOP ENTRY
COMPOUND WALL
FENCE
CONTOUR MAJOR LINE
CONTOUR MINOR LINE
STORM WATER CIRCLE MANHOLE
SEWERAGE SQUARE MANHOLE
MANHOLE DU
SIDE ENTRY GULLY
TOP ENTRY GULLY
DUCT MARKERS ELECTRICITY
DUCT MARKERS IRRIGATION
UNKNOWN PIPE
STREET SINGLE LIGHT POLE
DIRECTION SIGN NOENTRY
SURVEY STATION
BUSHES
GATE

SURVEY STATION COORDINATES

SL.NO.	EASTING	NORTHING	ELEVATION
REC-103	488106.459	2772159.512	XXXX
REC-102	488126.442	2772250.606	13.966

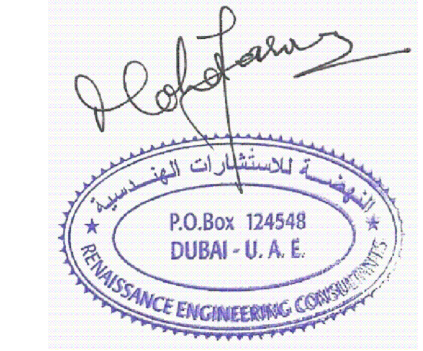
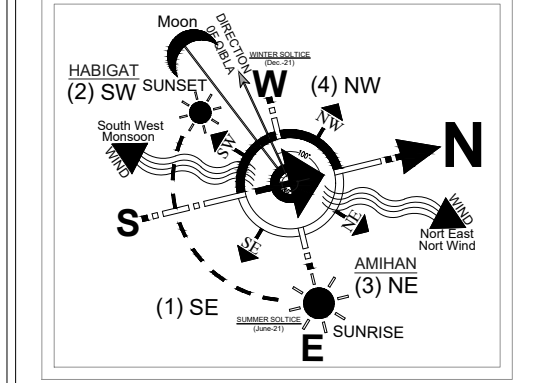
PLOT LIMIT COORDINATES

SL.NO.	EASTING	NORTHING
1	488085.132	2772246.008
2	488117.207	2772238.249
3	488113.633	2772223.475
4	488081.558	2772231.234

MUNICIPALITY STAMP & APPROVAL

NOTES:

- THIS DRAWING MAY NOT BE REPRODUCED BY ANY MEANS WITHOUT PRIOR APPROVAL FROM RENAISSANCE ENGINEERING CONSULTANTS
- DRAWINGS ARE NOT TO BE SCALED, STATED DIMENSIONS ONLY ARE TO BE TAKEN.
- ANY INCONSISTENCY OR DISCRIPANCY IS TO BE BROUGHT TO THE ATTENTION OF & RESOLVED BY THE CONSULTANT BEFORE THE WORK IS PUT IN HAND.



PROPOSED GARRAGE WITH ROOF SLAB

1. REV. DATE DESCRIPTION BY



PROJECT OWNER:

MR. KHURRAM AHMED MUHAMMAD AMIN

JOB TITLE : PROPOSED (GR.+ 2FLRS.) (TWIN-VILLA'S) PRIVATE RES'L VILLA.

PLOT NO. / PARCEL ID : JVC12ZVIL004 (681-7006)
BLOCK : AL BARSHA SOUTH FOURTH (681)

DRAWING: GROUND FLOOR PLAN (PRIVATE RESIDENTIAL VILLA)

TITLE: JOB NO.: 1010.

ARCHITECT :	STRUCTURAL ENGR :	DRAWN :
ENG.ISMAIL H.S.	ENG.SYED AHMED.	JAYSON
SCALE :	DATE :	CHECKED BY :
N.T.S	OCT./2023.	ENG. INTEQAB.
SHEET SIZE :	DRG.NO. :	SH.NO. :
A2	A-101	07
		0.

GROUND FLOOR PLAN
(PRIVATE RESIDENTIAL VILLA)
Ground Floor at Lvl.= +0.60m.



Nakheel Community Planning & Management

Development Control & Planning Approval

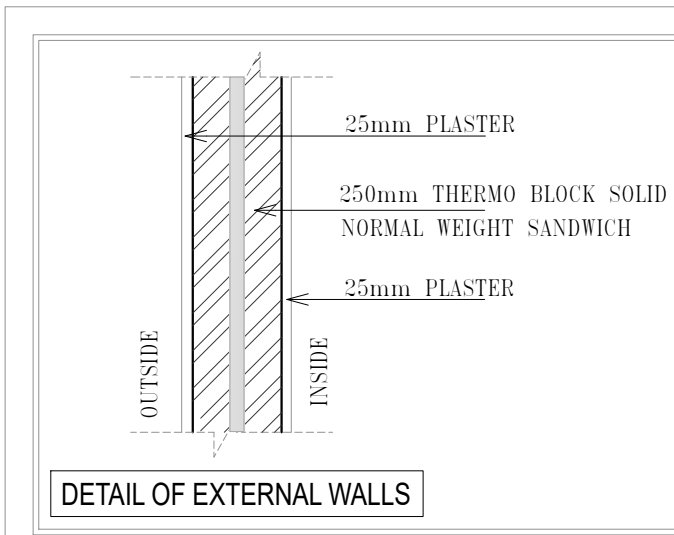
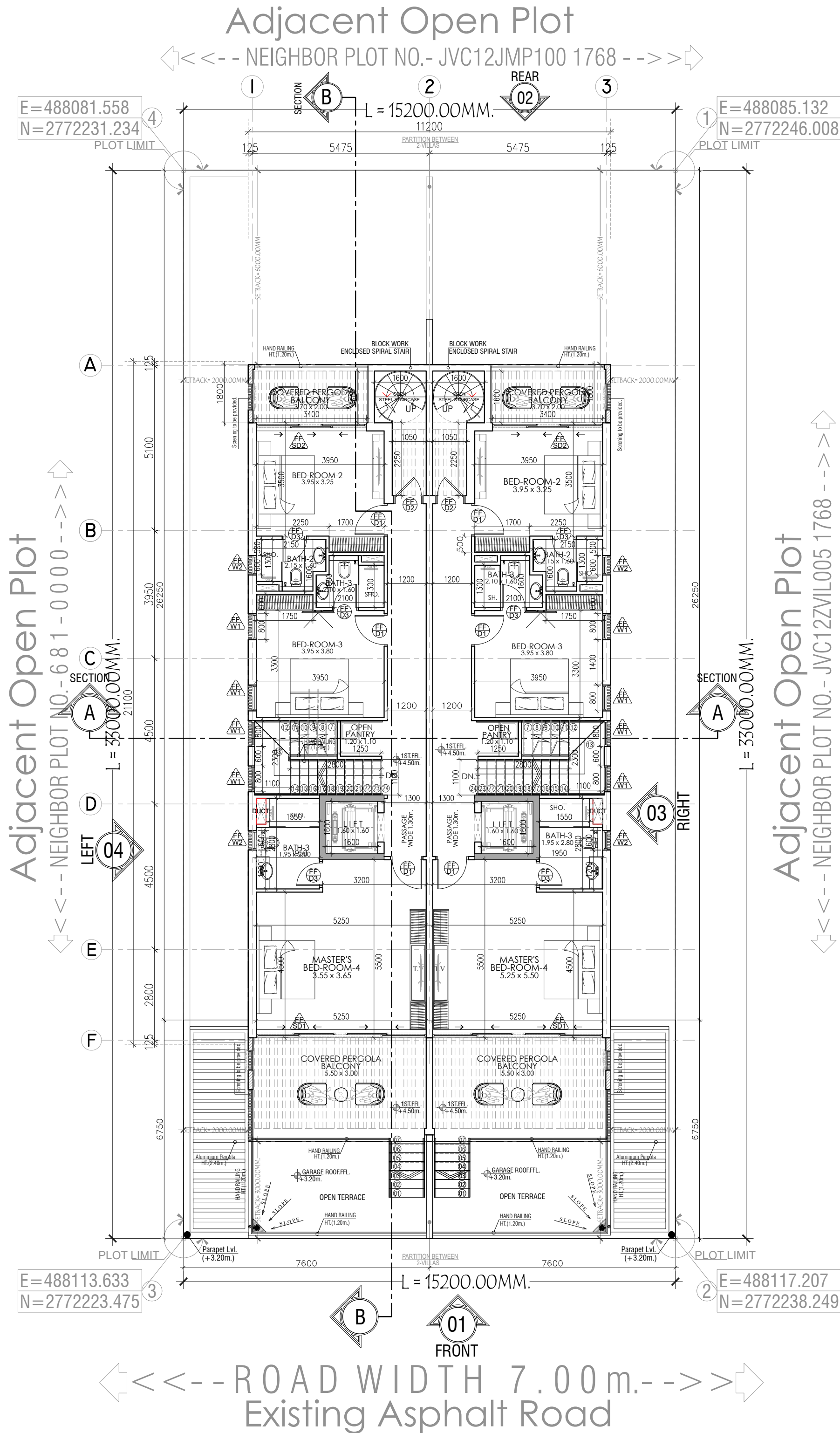
DD

DocuSigned by:
FF2DE325504E4DB...

DETAILED DESIGN

APPROVAL

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NOTE:
ALL EXTERNAL WALLS SHOULD HAVE
THERMAL INSULATION

FIRST FLOOR PLAN
(PRIVATE RESIDENTIAL VILLA)
1st. Floor at Lvl.= + 4.50m.

MUNICIPALITY STAMP & APPROVAL

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SPIRAL ON BALCONY
W / O STAIRCASE ROOF

PROPOSED GARRAGE
WITH ROOF SLAB

REV.	DATE	DESCRIPTION	BY
1.			

PROJECT OWNER:
MR. KHURRAM AHMED
MUHAMMAD AMIN

JOB TITLE:
PROPOSED
(Grd. + 2) PRIVATE RES'L VILLA

PLOT NO. / PARCEL ID	BLOCK:
JVC12ZVIL004 (681-7006)	AL BARSHA SOUTH FOURTH (681)

DRAWING:
FIRST FLOOR PLAN
(PRIVATE RESIDENTIAL VILLA)

TITLE: JOB NO.: 1010.		
ARCHITECT:	STRUCTURAL ENGR:	DRAWN:
ISMAIL	INTEQAB	JAYSON
SCALE:	DATE:	CHECKED BY:
N.T.S	JUNE, 2023.	INTEQAB
SHEET SIZE:	DRG.NO.:	SH.NO.:
A2	A-102.	08.

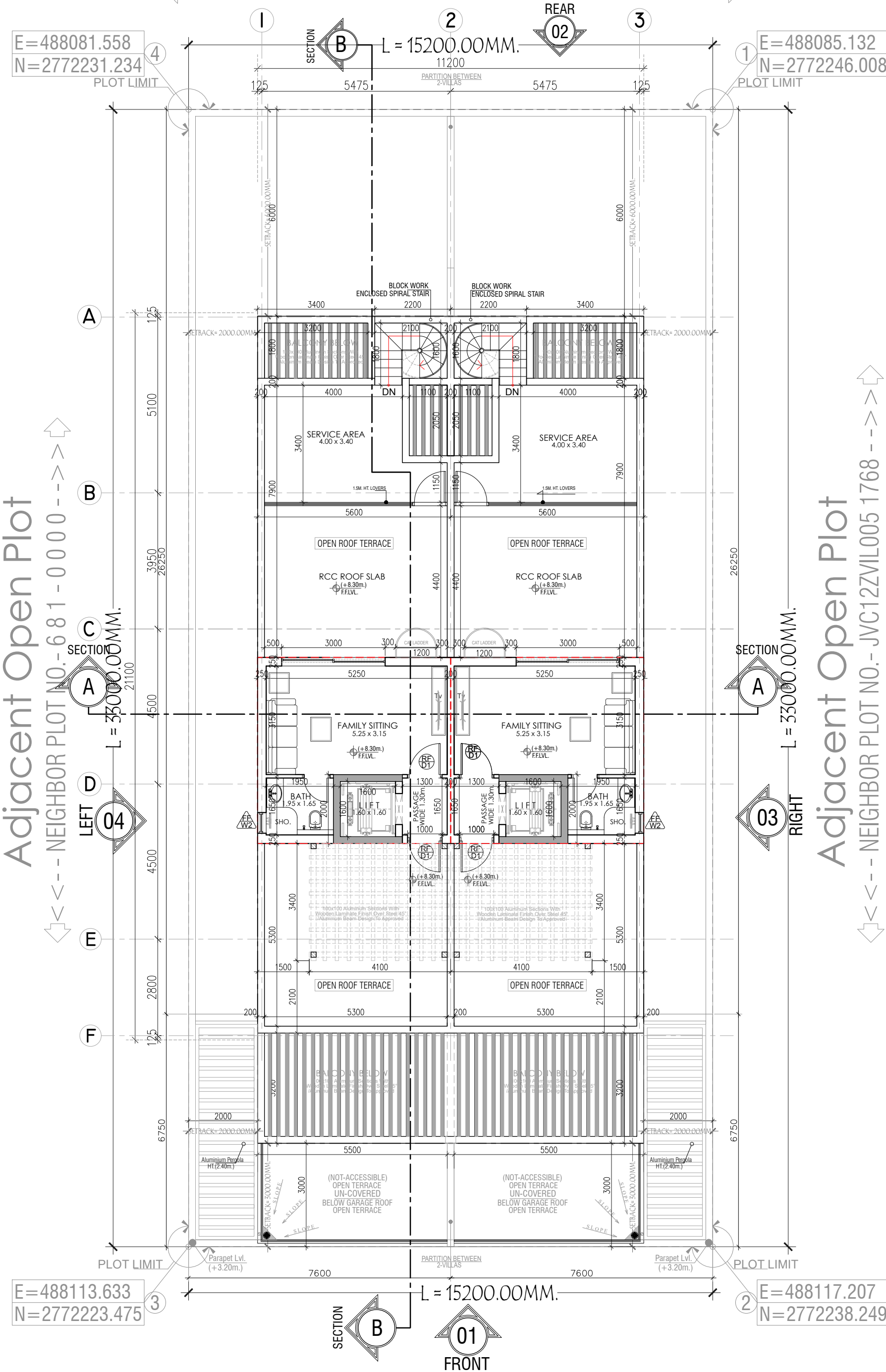


APPROVAL



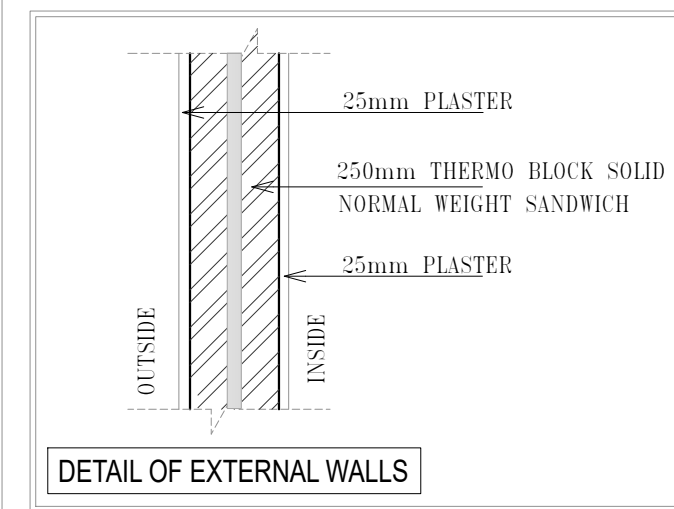
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◀ < < - - NEIGHBOR PLOT NO.- JVC12JMP100 1768 - - > > ▶



NOTE:- 1.ALL OPAQUE EXTERNAL ROOFING SURFACES MUST COMPLY WITH A MINIMUM ROOF SLAB REFLECTIVE INDEX (SRI)VALUE ACCORDING TO TABLE 304.01(1)FOR A MINIMUM OF SEVENTY FIVE (75%) OF THE ROOF AREA

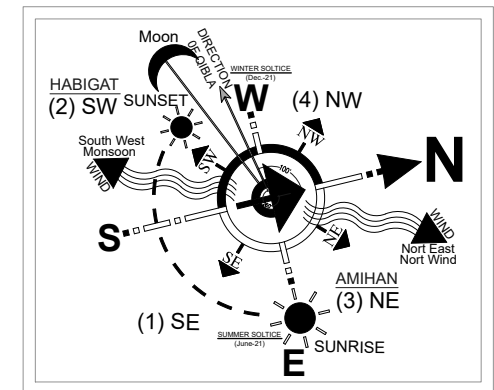
TABLE 304.01 (1)-ROOF SRI REQUIREMENTS					
MINIMUM AREA TO BE COVERED WITH PAINT	AREA OF THE ROOF COVERED (SQ.M)	TYPE OF ROOF	TYPE OF COLOUR SELECTED	MINIMUM SRI VALUE REQUIRED	SRI VALUE OF THE COLOUR SELECTED
75 %	149.01 Sq.Mt. 41.00%	FLAT SLAB ROOF	 LIGHT GRAY	≥ 78 %	79



MUNICIPALITY STAMP & APPROVAL

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Handwritten signature

المجلس الاستشاري الهندسي
P.O.Box 124548
DUBAI - U. A. E.
RENAISSANCE ENGINEERING CONSULTANTS

SPIRAL ON BALCONY
W / O STAIRCASE ROOF

PROPOSED GARRAGE WITH ROOF SLAB

1.			
REV.	DATE	DESCRIPTION	BY


النهضة
 للاستشارات الهندسية
RENAISSANCE
 ENGINEERING CONSULTANTS
 P.O. Box No.124548, Tel. 04-2678142, E-mail: reno@eml.com
 Mohamed Bin Rashid Al Matroun (Humanitarian & Charity Est.) Al Mamzar, Dubai.

PROJECT OWNER:

MR. KHURRAM AHMED
MUHAMMAD AMIN

JOB TITLE :

PROPOSED
(Grd. + 2) PRIVATE RES'L VILLA

PLOT NO. / PARCEL ID	BLOCK:
JVC12ZVIL004 (681-7006)	AL BARSHA SOUTH FOURTH (681)

DRAWING:

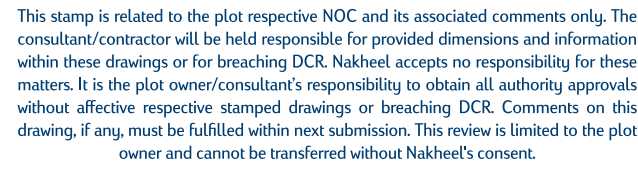
ROOF FLOOR PLAN
(PRIVATE RESIDENTIAL VILLA)

TITLE : <u>JOB NO. : 1010.</u>		
ARCHITECT :	STRUCTURAL ENGR :	DRAWN :
ISMAIL	INTEQAB	JAYSON
SCALE :	DATE :	CHECKED BY :
N.T.S	JUNE./2023.	INTEQAB
SHEET SIZE :	DRG.NO. :	REVISION NO. :
A2	A-103.	09.
		0.

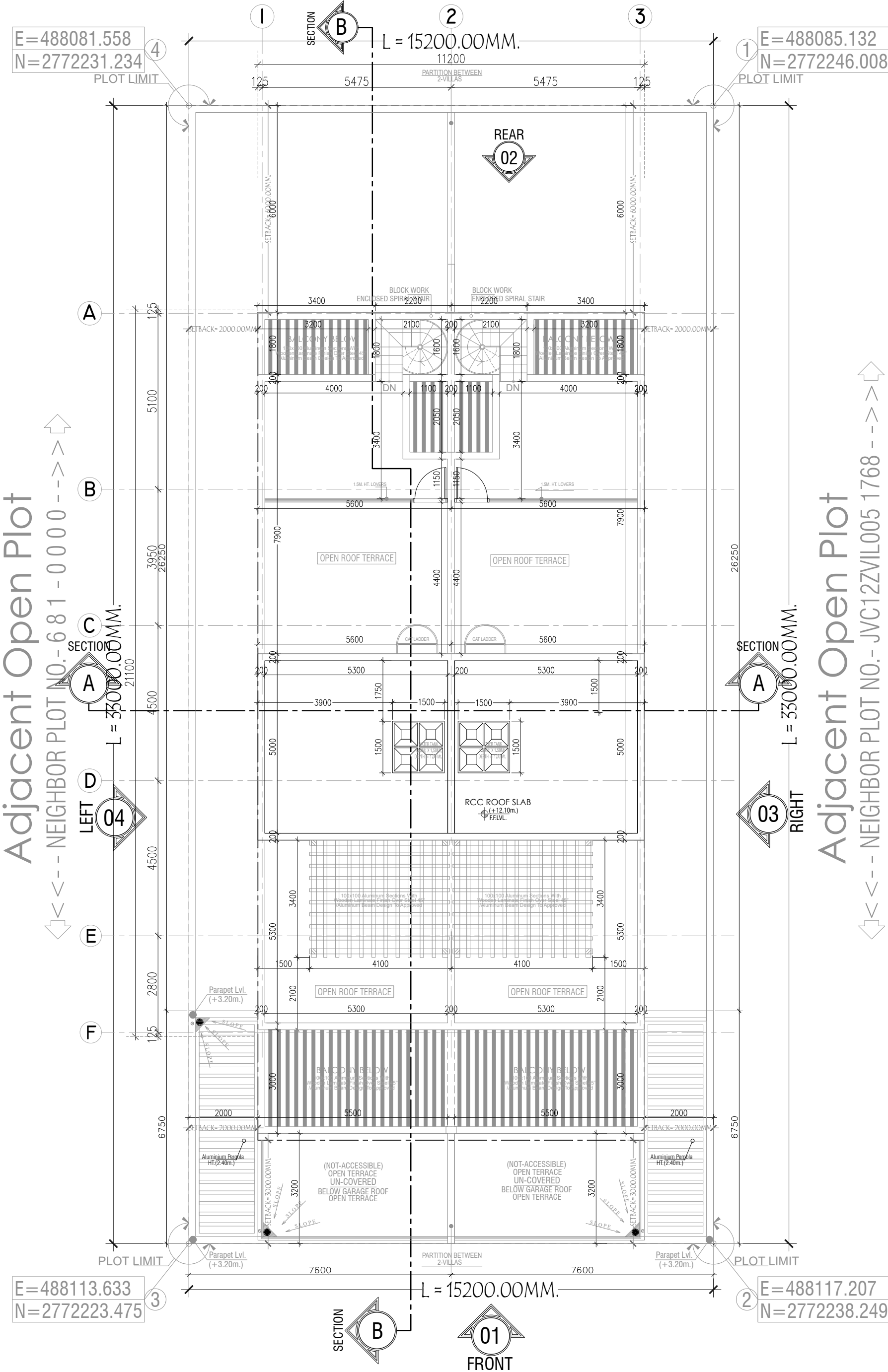
ROOF FLOOR PLAN
(PRIVATE RESIDENTIAL VILLA)
Roof Floor at Lvl.= + 8.30m.



DocuSigned by: APPROVAL

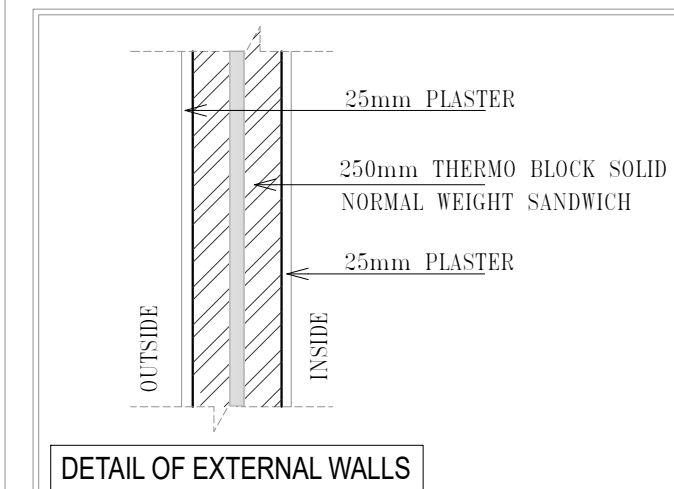


◀◀◀ - - NEIGHBOR PLOT NO.- JVC12JMP100 1768 - ->>>



NOTE:- 1.ALL OPAQUE EXTERNAL ROOFING SURFACES MUST COMPLY WITH A MINIMUM ROOF SLAB REFLECTIVE INDEX (SRI)VALUE ACCORDING TO TABLE 304.01(1)FOR A MINIMUM OF SEVENTY FIVE (75%) OF THE ROOF AREA

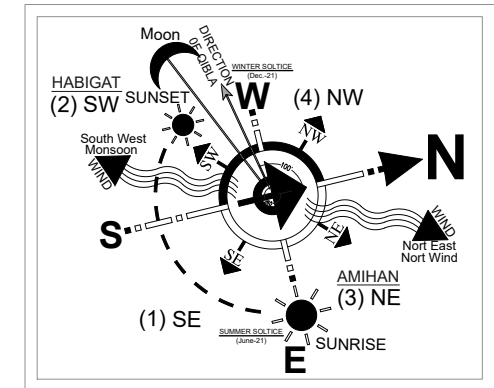
TABLE 304.01 (1)-ROOF SRI REQUIREMENTS					
MINIMUM AREA TO BE COVERED WITH PAINT	AREA OF THE ROOF COVERED (SQ.M)	TYPE OF ROOF	TYPE OF COLOUR SELECTED	MINIMUM SRI VALUE REQUIRED	SRI VALUE OF THE COLOUR SELECTED
75 %	60.48 Sq.Mt. 100%	FLAT SLAB ROOF	 LIGHT GRAY	≥ 78 %	79



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 P.O.Box 124548
 DUBAI - U. A. E.
 PERVAISSANCE ENGINEERING CONSULTANTS

SPIRAL ON BALCONY
W / O STAIRCASE ROOF

PROPOSED GARRAGE
WITH ROOF SLAB

1.			
REV.	DATE	DESCRIPTION	BY


النهضة
للإستشارات الهندسية
RENAISSANCE
ENGINEERING CONSULTANTS
 P.O. Box No 126458, Tel. 94-20781432, E-mail: reno@com.net.sa
 Mohammed El Rashid Al Matkoun - Jumeirah 1 & Charly Est. Al Mamzar, Dubai.

PROJECT OWNER:

MR. KHURRAM AHMED
MUHAMMAD AMIN

JOB TITLE :

PROPOSED
(Grd. + 2) PRIVATE RES'L VILLA

PLOT NO. / PARCEL ID	BLOCK:
JVC12ZVIL004 (681-7006)	AL BARSHA SOUTH FOURTH (681)

DRAWING:

TOP OF ROOF PLAN
(PRIVATE RESIDENTIAL VILLA)

TITLE:
JOB NO : 1010.

ARCHITECT :	STRUCTURAL ENGR :	DRAWN :
ISMAIL	INTEQAB	JAYSON
SCALE:	DATE:	CHECKED BY :
N.T.S	JUNE./2023.	INTEQAB
SHEET SIZE :	DRG.NO.:	SH.NO.:
A2	A-104.	10.
		0.

TOP OF ROOF PLAN
(PRIVATE RESIDENTIAL VILLA)
Roof Floor at Lvl.= + 12.10m.